



**DEVELOPMENT PERMIT NO. DP000790**

**ZENEX CAPITAL CORP.**  
Name of Owner(s) of Land (Permittee)

**5085 UPLANDS DRIVE**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 6, DISTRICT LOT 20, WELLINGTON DISTRICT, PLAN VIP79506  
PID No. 026-410-443**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Landscape Plan**  
**Schedule D Building Elevations – South & East**  
**Schedule E Building Elevations – North & West**  
**Schedule F Building Section**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

Section 7.6.1 – Size of Buildings

The maximum allowed building height is 14 m. The proposed building height is 15.083 m, a variance of 1.083 m.

Section 7.5.1. – Siting of Buildings

The required side yard setbacks are 3 m. The proposed south property line side yard is 2.8 m, a variance of 0.2 m. The proposed west property line side yard is 1.2 m, a variance of 1.8 m.

The required rear yard setback is 10.5 m. The proposed rear yard setback is 3.6 m, a variance of 6.9 m.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE  
9TH DAY OF JULY, 2012.

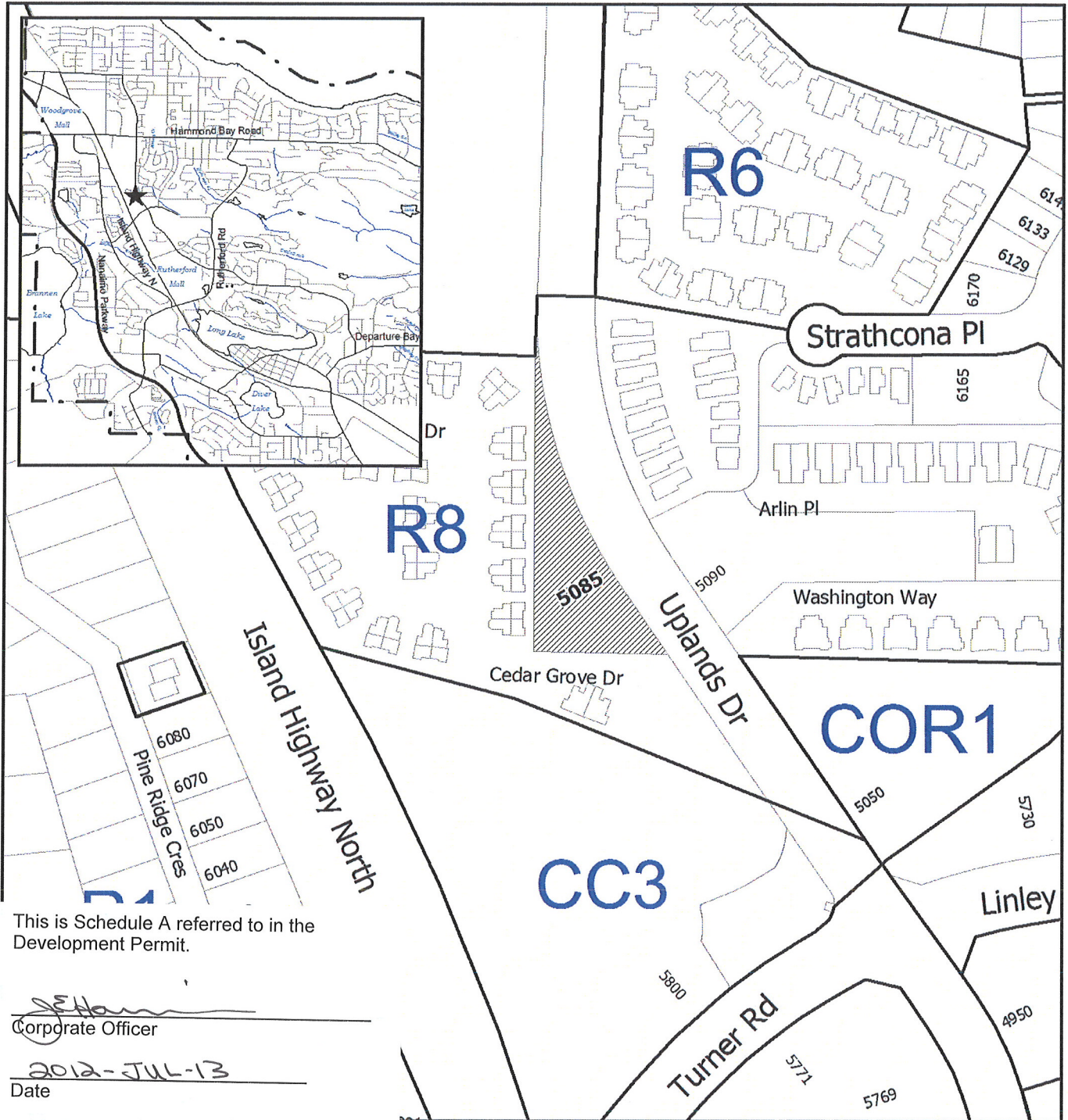
  
Corporate Officer

Joan Harrison

2012-JUL-13  
Date

DS/hd

Prospero attachment: DP000790



This is Schedule A referred to in the Development Permit.

*[Signature]*  
Corporate Officer

2012-JUL-13  
Date

DEVELOPMENT PERMIT NO. DP000790

# LOCATION PLAN

 **Subject Property**



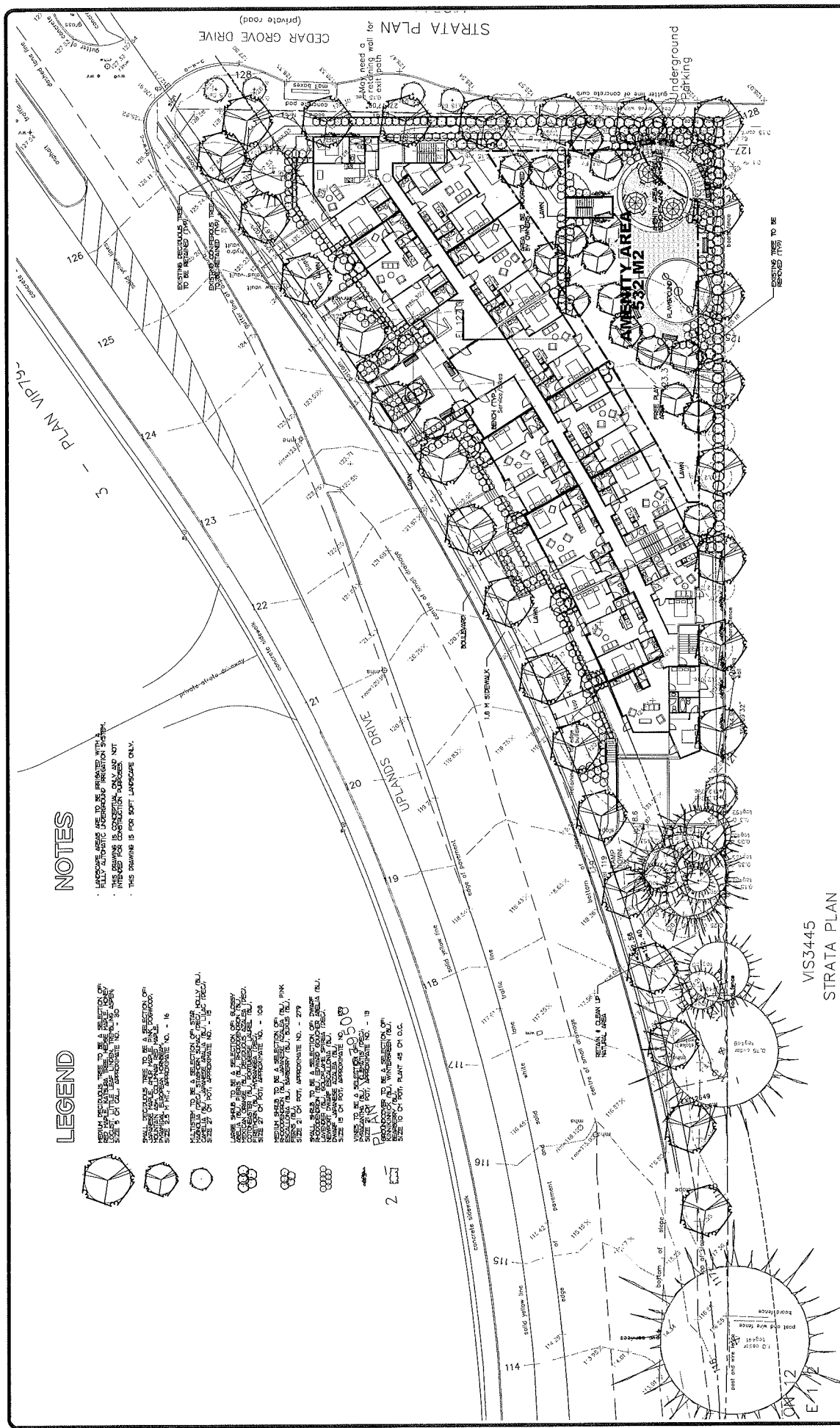
Civic: 5085 Uplands Drive  
Lot 6, District Lot 20, Wellington District, Plan VIP79506





**Schedule C  
Landscape Plan**

Development Permit No. DP000790  
5085 Uplands Drive



**NOTES**

- LANDSCAPE PLANTING TO BE AS SHOWN ON THIS PLAN.
- THIS DRAWING IS CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.
- THIS DRAWING IS FOR SOFT LANDSCAPE ONLY.

**LEGEND**

- SMALL TREE TO BE A SELECTION OF... (Symbol: small tree)
- MEDIUM TREE TO BE A SELECTION OF... (Symbol: medium tree)
- LARGE TREE TO BE A SELECTION OF... (Symbol: large tree)
- SMALL SHRUB TO BE A SELECTION OF... (Symbol: small shrub)
- MEDIUM SHRUB TO BE A SELECTION OF... (Symbol: medium shrub)
- LARGE SHRUB TO BE A SELECTION OF... (Symbol: large shrub)
- WALKWAY TO BE A SELECTION OF... (Symbol: walkway)
- CONCRETE SIDEWALK TO BE A SELECTION OF... (Symbol: concrete sidewalk)
- UNDERGROUND PARKING TO BE A SELECTION OF... (Symbol: parking area)

VS3445  
STRATA PLAN



This is Schedule C referred to in the  
Development Permit

*[Signature]*  
Corporate Officer

2012-JUL-13  
Date



1:200	1:200
DATE: SEPTEMBER 24, 2008	DATE: SEPTEMBER 24, 2008
PROJECT: UP-20080208	PROJECT: UP-20080208

**UPLANDS**  
NANAIMO, B.C.

PRELIMINARY PLAN (P)

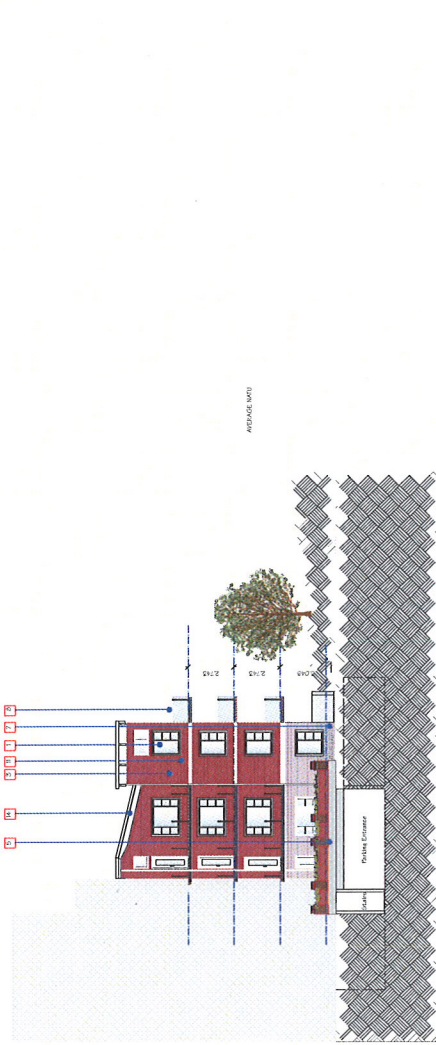


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5085 Uplands Drive

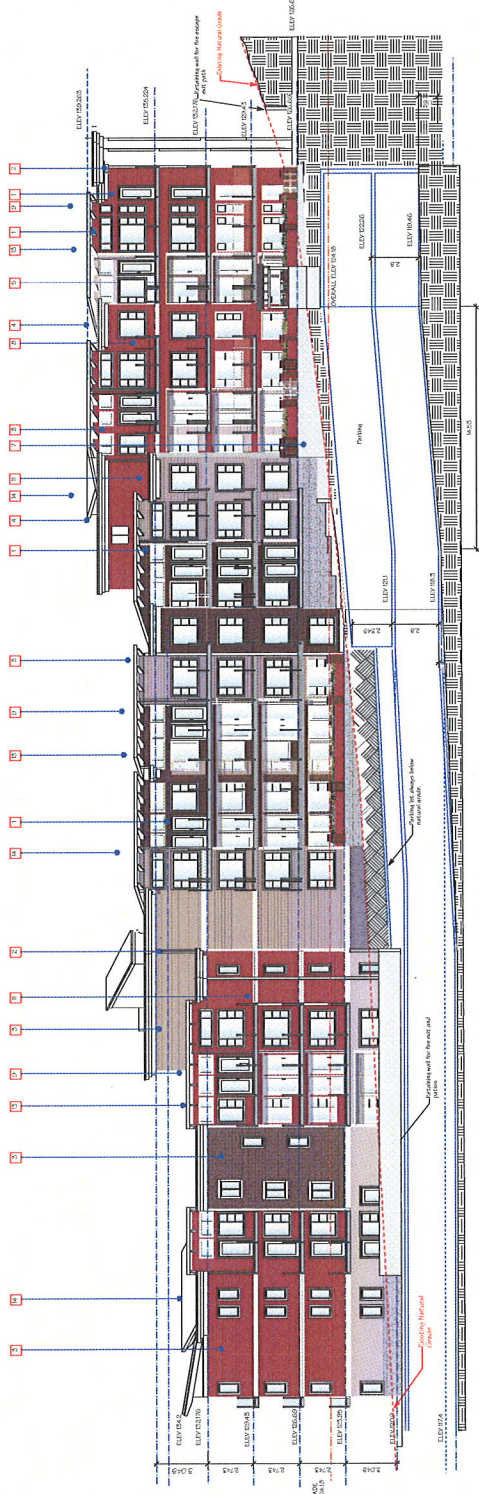
**Schedule E**  
**Building Elevations – North & West**

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NOTES:



1 NORTH ELEVATION  
SCALE 3/32" = 1'-0"



2 WEST ELEVATION  
SCALE 3/32" = 1'-0"

This is Schedule E referred to in the Development Permit.

*[Signature]*  
Corporate Officer

2012 JUL 13  
Date

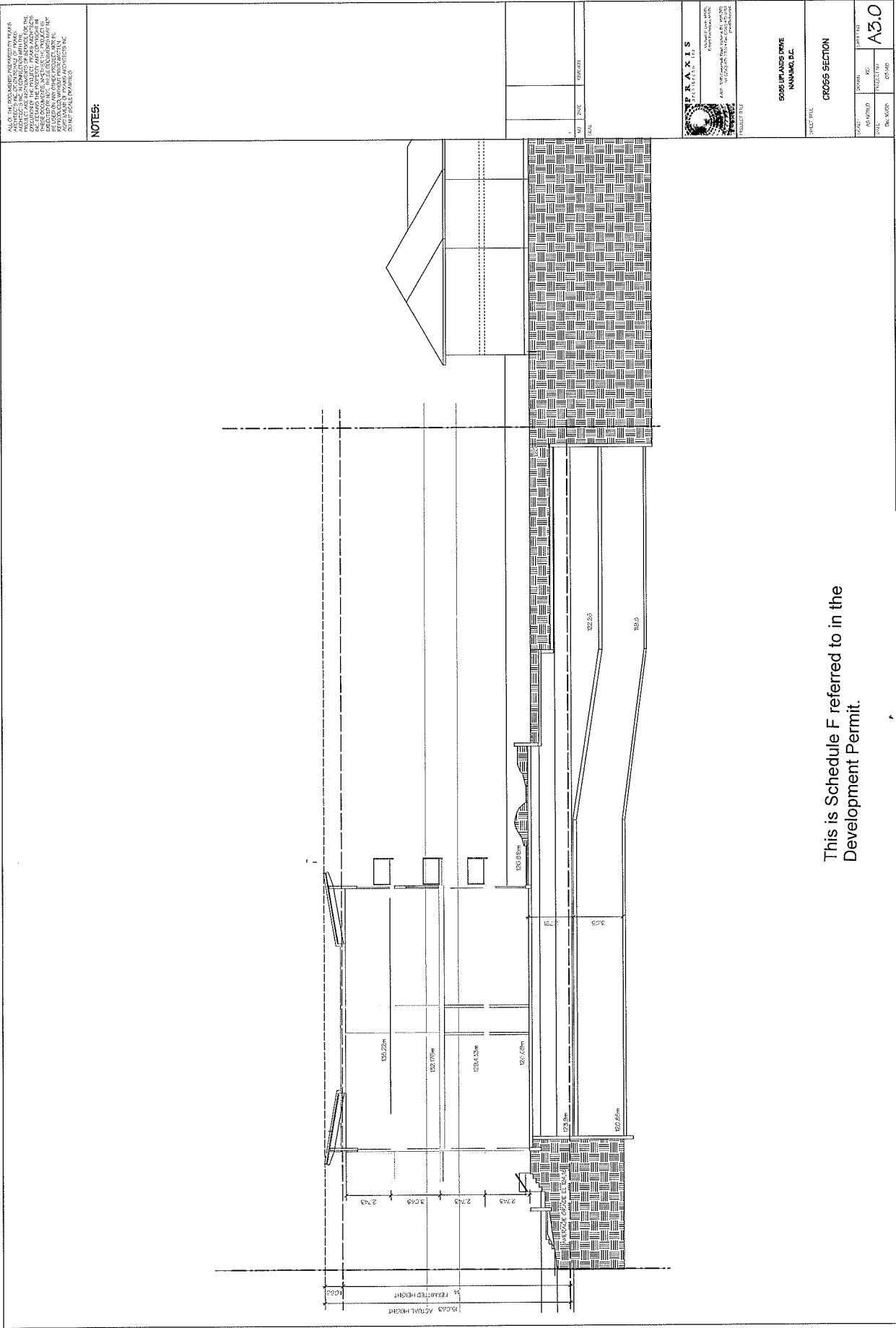
NO.	DESCRIPTION	DATE	BY
1	ISSUED		

PROJECT TITLE	5085 UPLANDS DRIVE NANAIMO, B.C.
PROJECT FILE	
SCALE	AS SHOWN
DATE	JULY 2012
DESIGNER	P. K. A. I. S.
DATE	07-2012
SCALE	A2.2


Development Permit No. DP000790  
5085 Uplands Drive

Schedule F  
Building Section



NOTES:

This is Schedule F referred to in the  
Development Permit.

  
Corporate Officer

2013-07-13  
Date